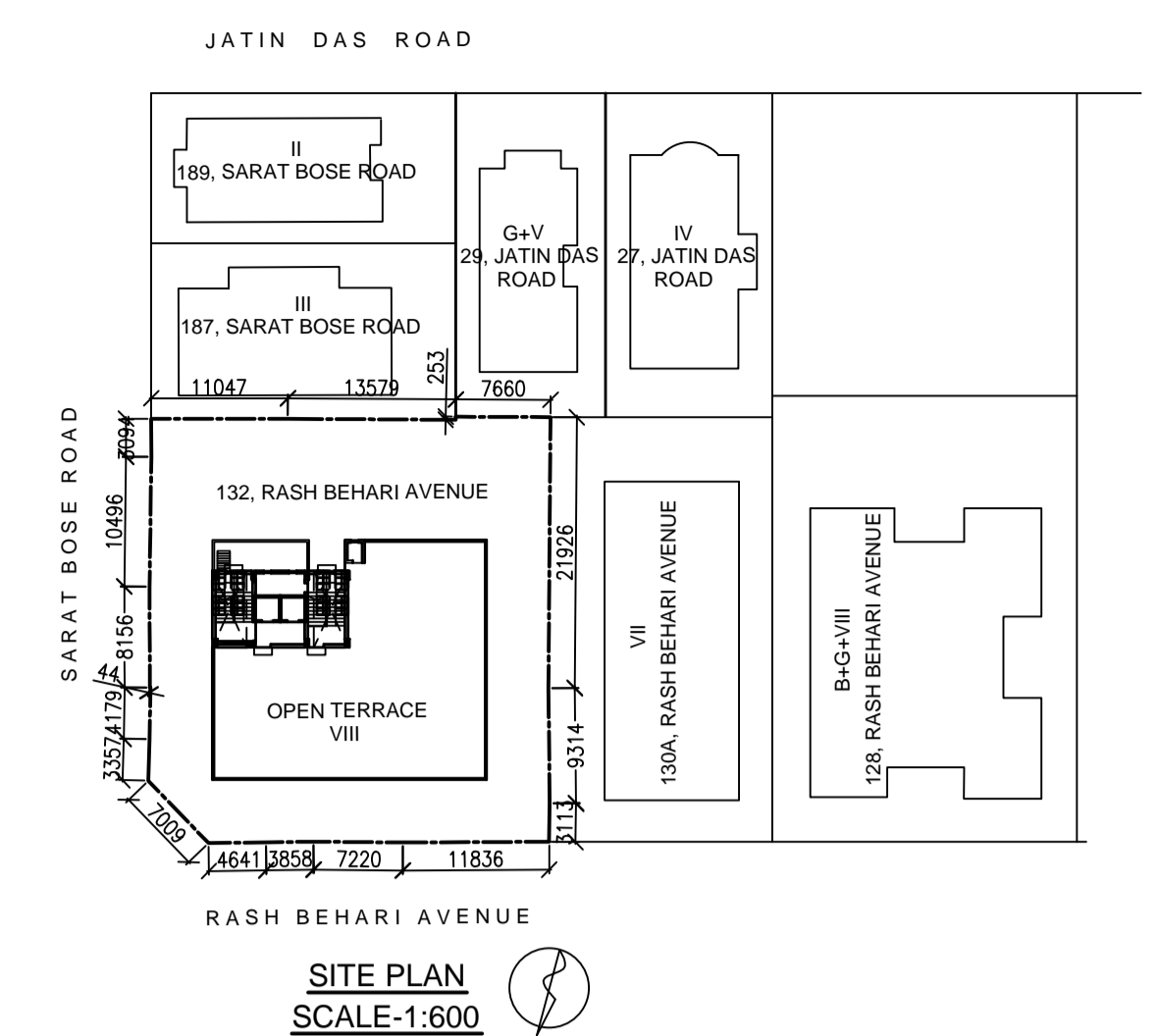
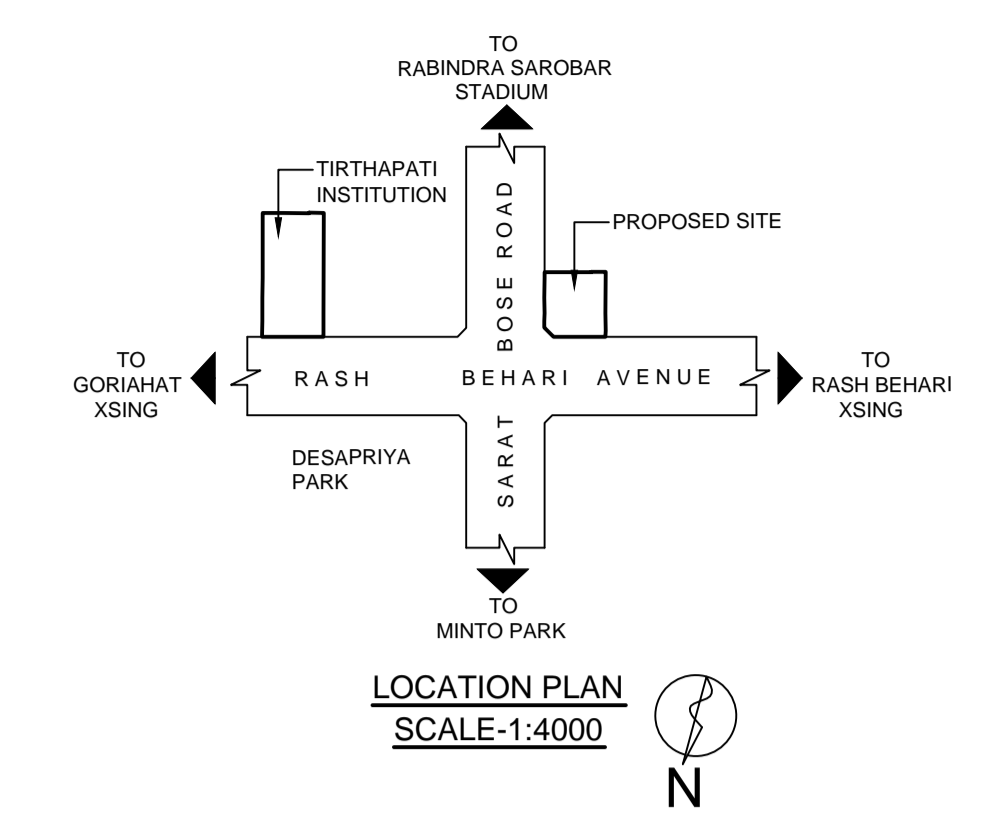


SECTION-AA
 DETAIL OF FIRE FIGHTING U.G.W. RESERVOIR
 CAP. - 1,50,000 LTR.
 SCALE - 1:50

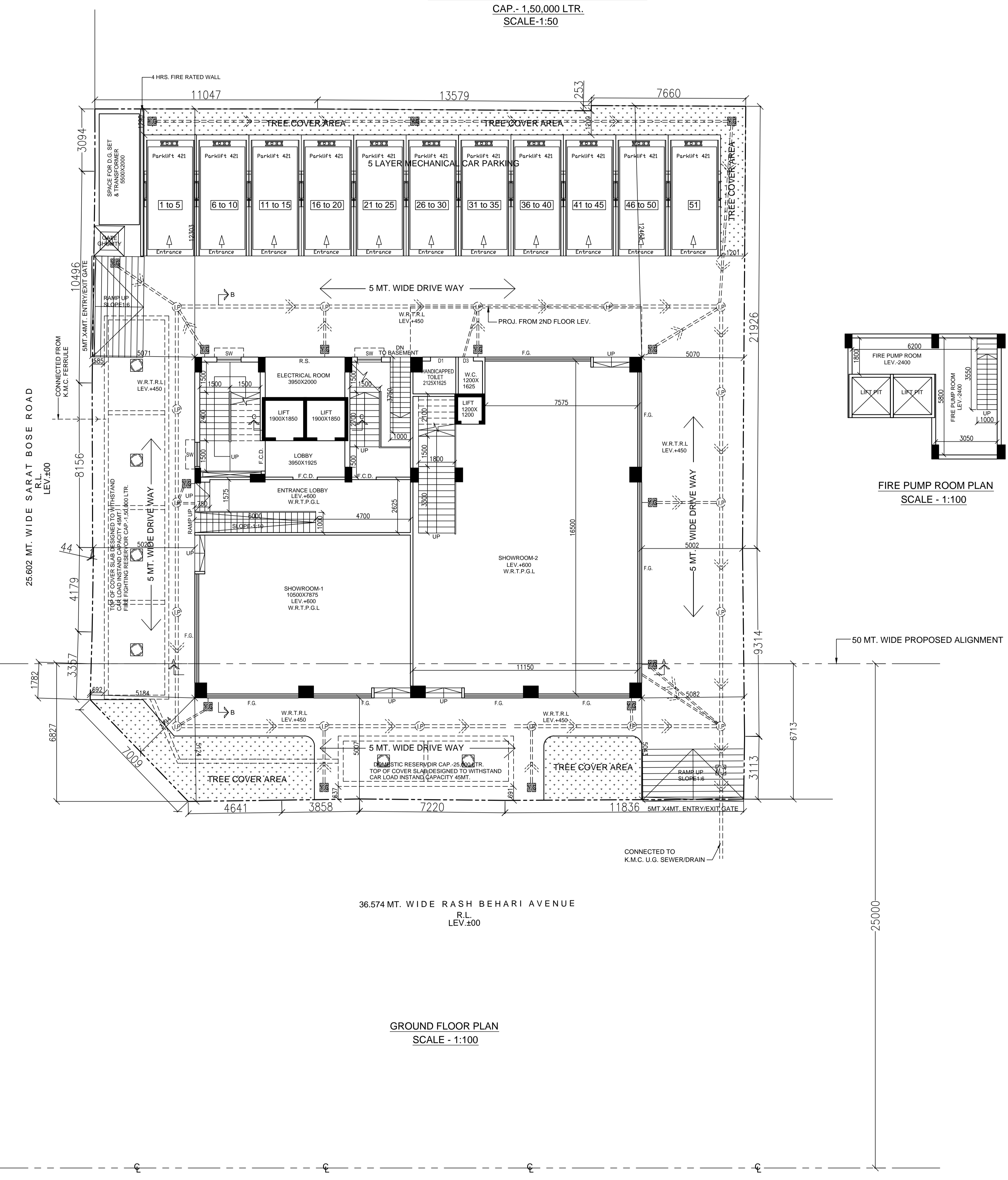


SITE PLAN
 SCALE-1:4000

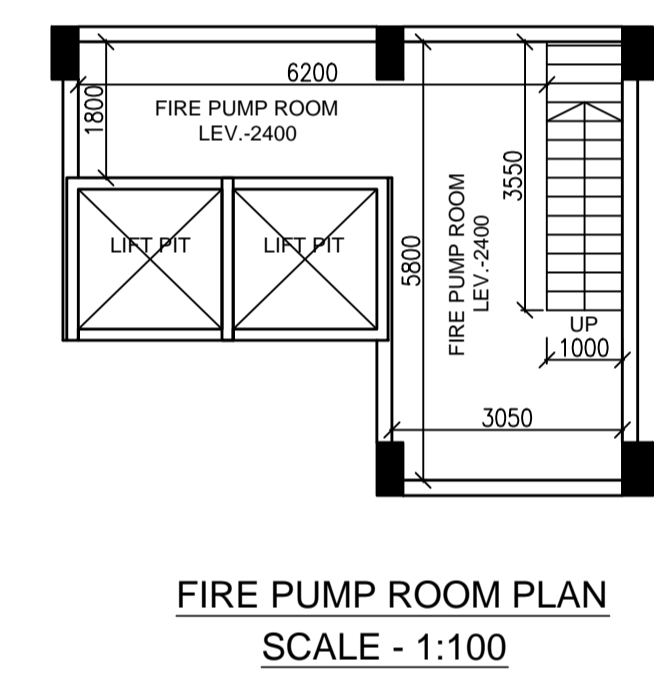


LOCATION PLAN
 SCALE-1:4000

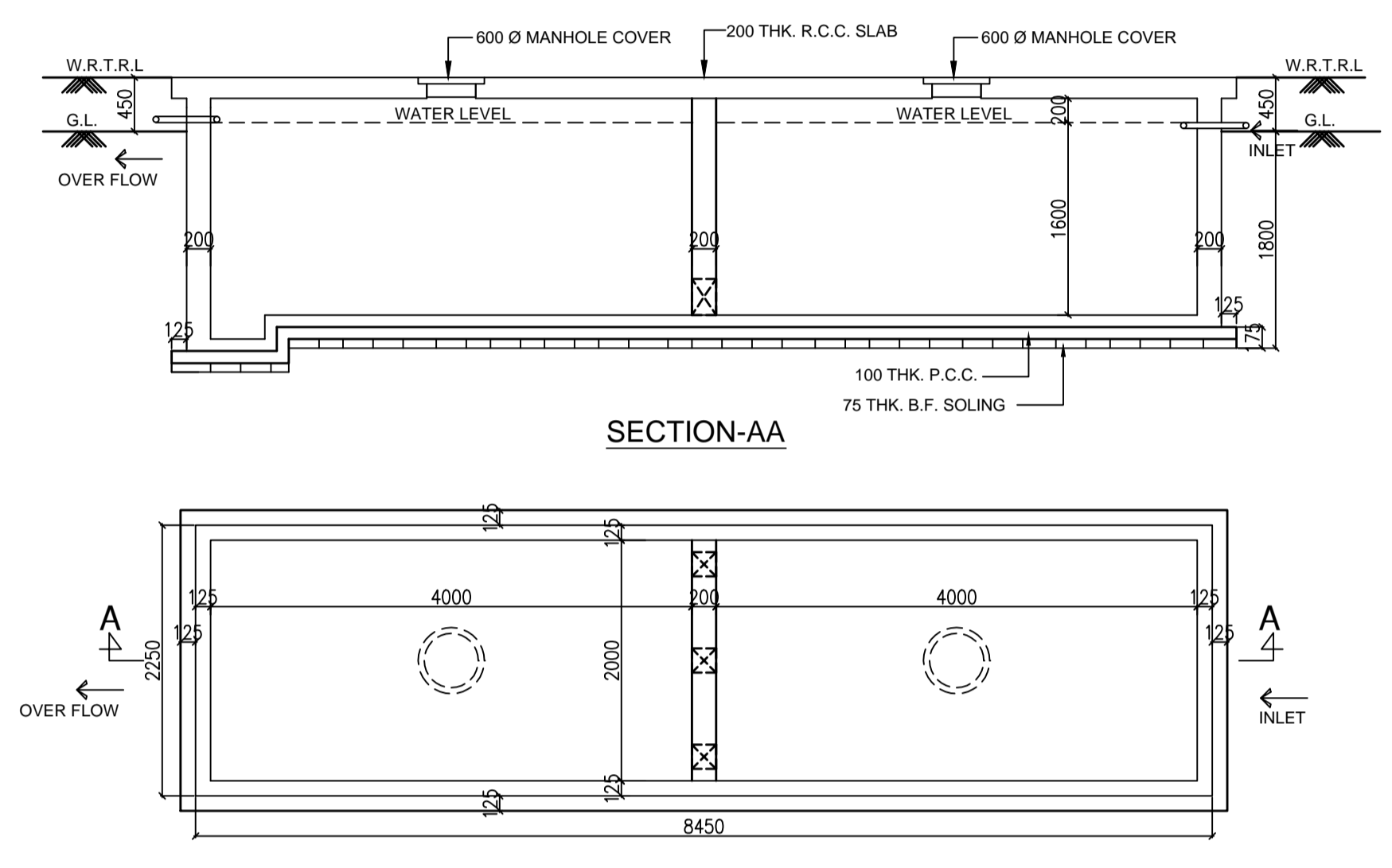
NOTE:
 LAND AREA = 1095.596 SQM. (16K-06CH-03SQFT.)
 REQUIRED GREEN AREA = 87.548 SQM.
 PROVIDED GREEN AREA = 91.133 SQM.
 PERCENTAGE OF GREEN AREA = 8.00% (REQUIRED)
 PERCENTAGE OF GREEN AREA = 8.32% (PROVIDED)



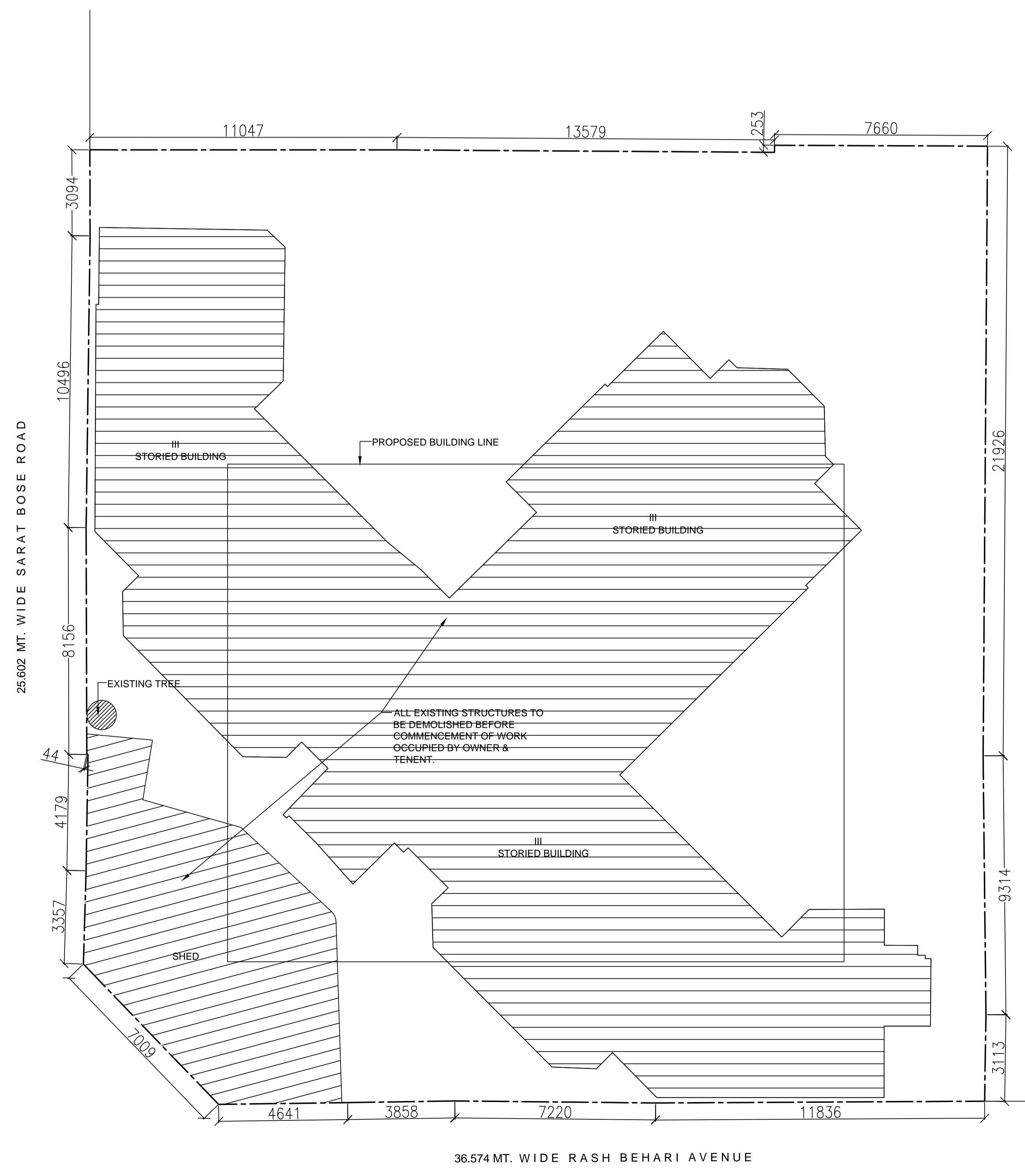
GROUND FLOOR PLAN
 SCALE - 1:100



FIRE PUMP ROOM PLAN
 SCALE - 1:100



SECTION-AA
 DETAIL OF DOMESTIC U.G.W. RESERVOIR
 CAP. - 25,000 LTR.
 SCALE - 1:50



EXISTING STRUCTURE PLAN
 SCALE-1:100

STATEMENT OF THE PLAN PROPOSAL.

- PART-A:
- ASSESS NO: 110872100465
 - DETAILED REGISTERED DEED.
 BOOK NO: 1 VOL. NO: 23 PAGE NO: 1 TO 23
 BEING NO: 833 YEAR: 1985 PLACE: S.R. BOMBAY DATE: 29.10.1985
 - DETAIL OF REGISTERED TENANT UNDERTAKING
 BOOK NO: 1 VOL. NO: 1602-2023 PAGE NO: 211659 TO 211669
 BEING NO: 160206238 YEAR: 2023 PLACE: D.S.R.-II (S) 24 P.G.S. DATE: 12.05.2023
 - DETAIL OF REGISTERED BOUNDARY DECLARATION.
 BOOK NO: 1 VOL. NO: 1602-2023 PAGE NO: 211513 TO 211526
 BEING NO: 160206237 YEAR: 2023 PLACE: D.S.R.-IV (S) 24 PGS. DATE: 12.05.2023
 - U.L.C. NO: 965/1/ULC/KOLKATA/2023 DATED: 18.08.2023.

- PART-B:
- PROPOSED GROUND COVERAGE = 403.445 SQM.
 - PROPOSED F.A.R. = 2.532
 - TOTAL COVERED AREA = 3100.921 SQM.
 - NO. OF REQUIRED CAR PARKING SPACE = 51 NOS.
 - NO. OF PROVIDED CAR PARKING SPACE = 51 NOS.
 (GROUND MULTILAYER OPEN = 51 NOS.)

STATEMENT OF AREA:
 AREA OF LAND: (16K-06CH-03SQFT.) = 1095.596 SQM. (AS PER DEED & U.L.C.)
 PERMISSIBLE GROUND COVERAGE (40.00%) = 438.238 SQM.
 PROPOSED GROUND COVERAGE (36.82%) = 403.445 SQM.
 PROPOSED HEIGHT = 25.500 SQM.

COVERED AREA	CUTOUT (EFTWELL)	CUTOUT (STAIR)	CUTOUT (ELEC)	EFFECTIVE AREA	SERVICE AREA	STAIR WAY	LIFT LOBBY AREA	NET FLOOR AREA
30313 SQM	-	-	-	30313 SQM	30313 SQM	-	-	-
374.758 SQM	-	-	-	374.758 SQM	-	33.300 SQM	6.000 SQM	323.058 SQM
403.445 SQM	84.0 SQM	1242.9 SQM	19.95 SQM	325.93 SQM	-	33.300 SQM	6.000 SQM	313.63 SQM
403.445 SQM	84.0 SQM	19.95 SQM	19.95 SQM	349.00 SQM	-	33.300 SQM	6.000 SQM	349.700 SQM
403.445 SQM	7.000 SQM	-	1.985 SQM	396.830 SQM	-	33.300 SQM	6.000 SQM	366.530 SQM
403.445 SQM	7.000 SQM	-	1.985 SQM	396.830 SQM	-	33.300 SQM	6.000 SQM	366.530 SQM
403.445 SQM	7.000 SQM	-	1.985 SQM	396.830 SQM	-	33.300 SQM	6.000 SQM	366.530 SQM
403.445 SQM	7.000 SQM	-	1.985 SQM	396.830 SQM	-	33.300 SQM	6.000 SQM	366.530 SQM
300.489 SQM	12.000 SQM	12.480 SQM	4.758 SQM	313.249 SQM	33.313 SQM	278.800 SQM	40.000 SQM	274.101 SQM
TOTAL AREA								2774.101 SQM.
PROPOSED F.A.R. (2774.101/1095.596)								= 2.532

BUSINESS:
 OFFICE BUILTUP AREA: 2235.680 SQM.
 OFFICE CARPET AREA: 1468.789 SQM. / CAR PARKING REQUIRED = 28 NOS.
 MERCANTILE RETAIL:
 SHOWROOM BUILTUP AREA: 865.241 SQM.
 SHOWROOM CARPET AREA: 783.927 SQM. / CAR PARKING REQUIRED = 22 NOS.
 CAR PARKING REQUIRED = 51 NOS.
 CAR PARKING PROVIDED = 51 NOS. (GROUND MULTILAYER OPEN = 51 NOS.)
 STAIR HEAD ROOM AREA = 51.883 SQM.
 LIFT ROOM AREA = 18.690 SQM.
 OVER HEAD TANK AREA = 34.100 SQM.
 W.C. AREA = 2.960 SQM.
 SOLAR PANEL AREA = 17.750 SQM.
 OPEN TERRACE AREA = 403.445 SQM.
 FIRE REFUGE PLATFORM AREA = 19.501 SQM.
 ROOF STRUCTURE AREA = 73.543 SQM.
 GOOMTY AREA = 2.250 SQM.

CERTIFICATE OF STRUCTURAL ENGINEER
 THE STRUCTURAL DESIGN OF BOTH FOUNDATION AND SUPERSTRUCTURE OF THE BUILDING WILL BE MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER N.B.C. OF INDIA ON THE BASIS OF SOIL INVESTIGATION REPORT TO BE DONE AFTER DEMOLITION OF EXISTING STRUCTURE BY DR. SUJIT KUMER BOSE G.T.E. K.M.C. NO. -112, BOSE ENGINEERS 53, PURNA CHANDRA MITRA LANE, KOLKATA-700033. CERTIFY THAT IT WILL BE SAFE AND STABLE IN ALL RESPECT. PRESENTLY THE SITE IS ENTIRELY COVERED BY EXISTING STRUCTURE AND SOIL TESTING IS NOT POSSIBLE.

(SANJIB GUHA E.S.R. - 8816)
 NAME OF STRUCTURAL REVIEWER
 (ALOK ROY G.T.E. - I11)
 NAME OF GEOTECHNICAL ENGINEER
 SANJIB J PAREKH (E.S.E. 1/104)
 NAME OF STRUCTURAL ENGINEER

DECLARATION OF ARCHITECT
 THE BUILDING PLAN HAS DRAWN UP AS PER PROVISION OF K.M.C. BUILDING RULES 2009, AS AMENDED FROM TIME TO TIME AND THE SITE CONDITION INCLUDING THE ABUTTING ROAD IS CONFORM WITH THE PLAN. IT IS A BUILDABLE SITE NOT A TANK OR FILLED UP TANK. THERE IS AN EXISTING STRUCTURE TO BE DEMOLISHED BEFORE COMMENCEMENT OF WORK. IT IS FULLY OCCUPIED BY THE OWNER & TENANT.

(ANJAN UKIL CA/94/16721)
 NAME OF ARCHITECT
 DECLARATION OF OWNER
 I DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT, I SHALL ENGAGE ARCHITECT & E.S.E. DURING CONSTRUCTION. I SHALL FOLLOW THE INSTRUCTION OF ARCHITECT & E.S.E. DURING CONSTRUCTION OF THE BUILDING (AS PER PLAN). K.M.C. AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING & ADJOINING STRUCTURE IF ANY SUBMITTED DOCUMENT ARE FAKE. THE K.M.C. AUTHORITY WILL REVOKE THE SANCTION PLAN. THE CONSTRUCTION OF U.G.W.R. UNDER THE GUIDANCE OF ARCHITECT/E.S.E. BEFORE STARTING OF BUILDING FOUNDATION.

TUSHAR GOENKA
 (C.A. OF VIVEK LADHA DIRECTOR OF V.V.A. FINANCE LTD.)
 NAME OF OWNER

GROUND FLOOR PLAN, EXISTING STRUCTURE PLAN, SITE PLAN & LOCATION PLAN, FIRE & DOMESTIC RESERVOIR PLAN & SECTION.
 PROJECT:
 PROPOSED G+VII STORIED (HT. 25.500MT.) COMMERCIAL BUILDING U/S 393 A OF K.M.C. ACT 1980 AND BUILDING RULE 2009 AT- 132, RASH BEHARI AVENUE, KOLKATA- 700029, WARD NO.-87, BOROUGH NO.-VIII, P.S.- TOLLYGUNGE.

JOB NO.	DRG. NO.	DATE	DEALT
1248	ARCHICORP-01	09.02.24	AVIK

Anjan Ukil
 architect

PLAN CASE NO. - 2023080114
 SCALE: 1:100, 1:600, 1:4000
 DATE: 17-02-2024
 B.P. NO.: 2023080124
 VALID UP TO: 16-02-2029

SIGNATURE OF A.E. (C.B.R.-VIII BLDG. K.M.C.)
 SIGNATURE OF E.E. (C.B.R.-VIII BLDG. K.M.C.)